



Glen Nicholson
5452 Cranbrook Hill Road
Prince George, BC
V2M 7C4

Redacted

February 1, 2026

Mayor and Council
The City of Prince George
1100 Patricia Boulevard,
Prince George, BC V2L 3V9

via email to: cityclerk@princegeorge.ca

Re Cranbrook Hill Proposal:

“City of Prince George Official Community Plan Bylaw No. 9525, 2025, Amendment Bylaw No. 9551, 2025” and “City of Prince George Zoning Bylaw No. 7850, 2007, Amendment Bylaw No. 9552, 2025”

City Council Hearing: February 2, 2026, 7:00 p,m

To City Clerk:

Following is my written submission. I respectfully request the opportunity to speak to City Council at the public hearing on February 2, 2026 to clarify my views and answer any questions Council or the developer may have.

Dear Mayor and Councilors,

I am a Cranbrook Hill resident, having lived three doors away from the subject property for 32 years. I am also an active mountain biker and trail builder, and a member of the Prince George Cycling Club. I know the roads and trail networks on Cranbrook Hill very well.

The steep escarpment next to the subject property is a special and well-used green space. For many years, it has supported an informal network of advanced mountain bike trails enjoyed by a dedicated and growing community of riders. In addition, connecting trails are used daily by hikers, joggers, snowshoers, dog walkers, and nature lovers.

These trails form part of a valued, park-like forest network running from Otway to Vanway, linking the Greenway to Forests for the World, UNBC, Ginter’s Meadow, Charella Garden, and my back door. This network is long-established and widely documented on Google Maps, Trailforks, AllTrails, and other mapping platforms.

The mountain bike trails immediately adjacent to the subject property are particularly well known among advanced mountain bike riders and draw visitors who come to experience this steep and technical riding terrain. The escarpment's natural draws, gullies, humps, and contours make it uniquely suited to this kind of riding and represent an under-recognized recreational and tourism asset for Prince George.

At the same time, the current situation presents challenges. Unmanaged recreation creates avoidable safety risks. Unlike the Quesnel Bike Park on a similar escarpment, there is no designated parking or formal trailhead at the top of Cranbrook Hill, where access starts at a blind corner. Parking at the bottom is also limited, and riders exit directly onto Foothills Boulevard.

The rezoning proposal before you allows up to twelve residential lots on relatively level terrain at the top of the escarpment. Most of the existing bike trails lie on steep slopes that are unsuitable for housing. As a result, residential development and trail use can be complementary. Future residents of this development will probably value safe and convenient access to this extensive trail network right at their doorstep.

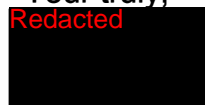
The proposed access road is therefore significant. With thoughtful design, it offers a chance to enhance safety and compatibility by providing safe parking and a clearly marked trailhead, rather than continuing informal access at a blind corner.

I am not asking Council to approve a bike park today. I am asking that this rezoning preserve future recreational possibilities. With clear boundaries, signage, access corridors, and appropriate parking, residential development and recreation can function together in a way that benefits both residents and the broader community.

This proposal presents an opportunity to move from unmanaged use toward a safer and more harmonious arrangement, while still allowing housing to proceed. I encourage Council to consider conditions that keep that opportunity open.

I also encourage the developer to view the existing trail network as a complementary asset and to consider design choices—such as safe parking, clear boundaries, and signage—that allow recreation to harmonize with new homes.

Your truly,

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Glen Nicholson